## D113A OLD QUARRY STORMWATER PAVING REPAIRS

## Lemont, IL

#### ARCHITECT

Chicago, IL 60654

(312) 464-1444

PREPARED FOR

**BOARD OF EDUCATION** Lemont-Bromberek Combined School District 113A

16100 W. 127th Street Lemont, IL 60439

#### **GENERAL NOTES**

#### A. SCOPE OF WORK AND GENERAL CONDITIONS

1. This set of documents consists of all sheets listed in the Sheet Index on the Title Sheet, the Project Specification Manual, and all Addenda. Work shown on any of the architectural, structural, mechanical, plumbing, electrical, and / or fire protection drawings, involving any one particular trade shall be performed by that particular trade whether such required work is shown on the drawings as belonging to that trade. For conflicts or inconsistencies that may arise between various documents, the bidder shall assume the more stringent or severe condition.

2. All work shall be performed in accordance with the AIA Document A-201 - General Conditions (latest edition) and the AIA Document A-701 - Instructions to Bidders.

3. The Contractor is responsible for verifying the nature, and scope of work described in the Contract Documents. The Contractor shall provide all labor, materials and equipment necessary to execute all work as shown on these drawings except where noted as not in contract (N.I.C.). Contractor will be responsible for coordinating work with that of all other trades. All work shall be performed by skilled and qualified workers in accordance with the best practices of each trade.

4. Due to the nature of renovation work, the bidder shall consider contingencies in the bid. No additional funds will be provided for hidden field conditions that may arise. The construction documents are scope documents and as such may not detail existing conditions exactly, however, this does not release the bidder from carefully reviewing existing field conditions as they affect work. 5. Contractors must perform their work at the Owner's convenience and so as not to interfere with normal operation.

6. Any existing work or equipment damaged by the Contractors or their agents or employees must be repaired or replaced as approved by the Architect, and with no change in the contract price.

7. The Contractor shall provide temporary enclosure or other means o protection as required. The Contractor shall coordinate the temporary enclosure with the Owner.

8. Contractor(s) shall be responsible for obtaining and paying for licenses required by local authorities.

#### **B. QUALIFICATIONS AND CODE COMPLIANCE**

1. The Construction Manager and all subcontractors shall be licensed to practice in the jurisdiction of the site. 2. Modifications required to comply with codes shall be reviewed with Architect to preserve design intent. Modifications to meet

codes shall be performed at no additional charge to the Owner over the original contract amount. 3. All work under this contract shall comply with the Occupational Safety And Health Act of 1970 (OSHA) as published in the latest

issue of the Federal Register. The Contractor must make whatever provisions are required to comply. 4. All trades must be knowledgable of provisions of current governing codes applicable to their trade.

5. Provide hot / cold water lines, soil / vent lines, pressure and shut-off valves as required by local building / plumbing codes. 6. All insulation types must receive prior approval from the relevant governing agency for use in the building or as a component of a system in the building.

#### C. CONTRACT DRAWINGS AND SPECIFICATIONS

ntary. All labor and materials required to fully carry out the intentions of Plans and specifications are cooperative and the plans and specifications are part of this contract, whether or not specifically documented.

2. The Contractor and each Subcontractor are required to thoroughly inspect these drawings and specifications and shall verify all dimensions and conditions shown on the drawings at the job site, and shall notify the Architect of any discrepancies and / or conflicts in writing prior to proceeding with the work or ordering any material.

3. Each trade is required to thoroughly examine these drawings and inspect existing conditions at the job site to identify potential problems, conflicts, discrepancies, or interference with other trades. 4. Existing Conditions / Demolition drawings were prepared for the convenience of the Contractor and Owner. The Architect does

not warrant the accuracy and completeness of these drawings. It is the responsibility of the Contractor to verify and be familiar with all existing conditions affected by the work. 5. Any work or materials called for differently on the drawings and in the specifications shall be provided as shown on one or the

other, at the Architect's option, at no added cost over the original contract amount. 6. Information is not necessarily repeated on plans and specifications; both are applicable. Consult architect, if conflicting.

7. Notes appear on various sheets for different systems and construction materials. All sheets are to be reviewed and notes on

any one sheet are to be applied to all related drawings and details

8. Details that are not shown shall be similar in character to those detailed. Where specific dimensions, details, or design intent cannot be determined, consult the Architect prior to proceeding with the work.

9. Drawings may be distorted in print and are not to be scaled. Written dimensions govern; favor large scale details.

10. All dimensions are to finished face of walls and partitions unless otherwise indicated.

11. Architectural dimensions and notes shall take precedence over engineering dimensions and notes. If discrepancies between architectural and engineering drawings are discovered, contact the Architect for interpretation.

#### **D. EXISTING CONDITIONS**

I. The Contractor shall verify and be familiar with the existing conditions as affected by the scope of the work to be performed. By submitting a bid or executing the contract, the Contractor represents that he has visited the site and familiarized himself with the local conditions under which the work is to be performed.

2. No requests for additional funds will be allowed due to ignorance of existing conditions or interference with other trades. 3. The Contractor shall promptly notify the Architect in the writing of any discrepancies, omissions and / or conflicts between the existing conditions and the work as described in the Contract Documents.

4. The Contractor must verify all existing conditions at the site. Where required, new work must be adapted to fit existing conditions at no additional cost to the owner.

5. The Contractor shall verify that all existing floors and walls related to the work are true and level to permit proper tolerances for

the new work. Commencement of work indicates acceptance of the conditions of existing work. 6. Existing conditions are indicated for the Contractor's convenience only. It is the Contractor's responsibility to verify existing

conditions as they are affected by the work. The Architect does not warrant the accuracy or completeness of the existing conditions shown. No additional funds will be authorized for the Contractor's ignorance of conditions and their implications.

#### E. DEMOLITION AND REMOVALS

I. Disposition of all existing construction items, equipment, fixtures, etc. that are to be removed and salvaged for Owner as part of this work, must be verified with Owner. Contractors may be required to move off site or relocate any / all such items. 2. Any mechanical and / or electrical appurtenances, etc., which are to remain active must be removed in their entirety to such

extent as not to interfere with, nor destroy the design concept of the new work. 3. Contractor shall coordinate with Owner, and store as directed, any existing fixtures identified as salvaged for Owner.

#### F. CUTTING AND PATCHING

1. The Contractor shall coordinate all work with adjacent and affected trades. The Contractor shall perform all cutting, patching and fitting as required to perform all of the work indicated or implied on the drawings and all other work as may be required to complete the job. Patch and repair floors, wall, ceilings, and mullions as required to match adjacent surface and / or as indicated on drawings.

2. All work such as cutting, patching, repair work, etc., must be performed by trades specializing in that work. Surfaces from which existing construction items are to be removed shall be patched as required by the new work so as to match all adjacent new or existing surfaces.

3. After removal of any existing construction, all areas affected or damaged by removal work shall be patched as required to match adjacent existing surfaces in all respects.

4. In all locations where filling in of existing openings is required, and where exposed finish surface is masonry, the Contractor shall match the adjacent masonry surfaces and interior finish in every respect.

#### **TYPICAL DRAWING SYMBOLS GENERAL NOTES** G. MATERIALS, ASSEMBLIES AND INSTALLATION STORAGE ROOM NAME 1. All openings and other provisions necessary for installation of architectural, plumbing, mechanical, electrical or Owner's NORTH ARROW apparatus and equipment must be verified with the specific trades involved, or with the Owner prior to installation, and must be of AND NUMBER A120 the size, configuration, location, etc. required. 2. Materials may be specified on drawings as well as specifications. In the event of a conflict, consult the Architect. WINDOW 3. Any details, systems, materials, etc. (architectural, structural, mechanical) proposed to be changed from that indicated or FIXTURE OR \*C05\* Í ID **CURTAIN WALL** specified in contract documents to be reviewed by Architect, approved by Owner prior to shop drawing preparation. EQUIPMENT STOREFRONT 4. All dissimilar metals shall be effectively isolated from each other to avoid galvanic action and deterioration. - DWG # 5. All wood blocking shall be fireproof, unless otherwise noted. 6. All work shall be guaranteed against defective materials / workmanship for minimum of one year after substantial completion. X ENLARGED SCHED DOOR OR 7. Install all materials and systems in strict accordance with the manufacturer's specifications and / or instructions. SECTION OR SHEET FRAMED OPENING PLAN DETAIL < ID 8. The flame spread rating and smoke development ratings of all materials shall conform to all applicable codes and requirements of applicable governing authorities. 9. Where new work abuts existing construction or existing construction has been patched or repaired, paint existing surfaces from **DOOR TAG** nearest corner to nearest corner, and from floor to ceiling except as noted otherwise. 10. New partitions to extend tight up to floor or roof construction, except as otherwise shown, and are to fit around beams, joists, ducts, conduits, pipes, etc. All such cuts shall be accurate, straight, and sealed with mortar or tape and compound, and air-tight. SECTION 11. Provide paint finishes to match existing adjacent conditions, unless noted otherwise. GRID LINE OR DETAIL 12. Unless noted otherwise, construction of new walls shall match thickness, height, rating, and material of adjacent walls. 13. For any unscheduled opening in a masonry wall, the associated trade shall provide steel lintels as specified. 14. It is the Contractor's responsibility to coordinate & accurately locate electrical and mechanical devices with casework and other construction to avoid conflicts. No additional funds will be authorized by the Architect for miscoordinated work. BUILDING — COLUMN LINE 15. All exterior wall shall be constructed so as to be completely watertight and airtight. SECTION 16. Contractor shall provide / install new fixtures and lamps as specified. Relamp existing fixtures as indicated on drawings. 17. All lenses, reflectors, lamps, plates for new / existing light fixtures, etc. shall be thoroughly cleaned prior to occupancy. 18. The contractor shall provide and install all necessary bracing (temporary and permanent) for sound construction to meet code defined loading conditions whether or not specifically documented at no additional cost to the Owner. CASEWORK PARTITION TYPE 19. The Contractor shall provide and install all necessary blocking, furring, and grounds (temporary and permanent) for good construction practice whether or not specifically documented at no additional cost to the Owner. 20. Roofing, waterproofing and moisture protection details are indicated for design intent and are suggestive only. It is the Contractor's responsibility to provide a proper and complete system per selected manufacturer's recommendations and specifications, for materials and execution that is completely water-tight and meets the manufacturer's criteria for warranty. T/ SLAB ELEVATION 🖌 X 🔪 EXTERIOR X ₩+0'-0" ELEVATION TARGET (HT) **H. SITE CONDITIONS** SHEET 1. Active pipes, conduits and other utilities of all types, whether shown in the bid documents or not, must be protected by the Contractor at all times during the construction of the work. Extreme care shall be exercised at all times not to damage any such pipes and conduits. If damage occurs, the Contractor shall repair such damage in a manner approved by the Architect, and at no INTERIOR **ELEVATION** EL +0'-0" SPOT ELEVATION 2. Unless otherwise approved by the Owner, all mechanical and / or electrical lines must be kept active during and / or after X (SINGLE) construction. Where they interfere with the new or remodeling work, they must be temporarily relocated during construction and SHEET permanently relocated after construction to locations approved by the Architect, at no additional cost to the Owner. 3. The Contractor shall take all necessary precautions to insure the safety of the structure and its inhabitants. 4. Throughout the period of demolition and construction, provide all necessary "accommodations" to keep the tenant-occupied portion of the floor operational and safe. These "accommodations" include, but are not limited to, electrical and communications wiring, HVAC, noise and dust control, plumbing, temporary signage, and life-safety measures. MATERIAL SYMBOLS 5. All corridors are to be kept free of refuse and construction material. The Contractor shall dispose of demolished materials. . SITE RESTORATION 1. Whether or not specifically indicated, the Contract Documents require that the Contractor shall include, as part of their Bid, EARTH LOOSE INSULATION provisions for providing Site Restoration for any portion of the site affected by the Work. This Site Restoration shall include, but shall not be limited to, restoring existing landscaping, walks, and roadways to a condition acceptable to the Architect. The intention of the Site Restoration is identical to that of the "cutting and patching." GRAVEL **RIGID INSULATION** J. UNDERGROUND UTILITES 1. The Contractor shall exercise care in excavation and construction so as not to disturb existing underground site utilities (unless specially documented to do so). The Contractor shall employ a service to locate such utilities and shall consult with the Owner as to possible locations of underground utilities. It shall be the Contractor's responsibility to restore service and pay for any utility fees in connection with the restoration of service in the event of disruption due to excavation and / or construction. SAND / GROUT DISCONTINUOUS MORTAR BLOCKING CONTINUOUS CONCRETE **TYPICAL ABBREVIATIONS** BLOCKING AFF FINISH ALUN FIXT FIXTURE PLAM PLASTIC LAMINATE FVC FIRE VALVE CABINET PLYWD PLYWOOD CONCRETE BLOCK PLYWOOD ANOE ASS" FLR FLOOR PTD PAINTED ACT FLUORESCENT FLUOR RISFR CJ GAUGE RAD RADIUS CLG ROOF DRAIN GLASS CLF GWB GYPSUM WALL BOARD REINF REINFORCING CMU UNIT HD HEAVY DUTY RESILIENT FLOORING BRICK FINISH WOOD CONC HDW HARDWARE REQD REQUIRED CON HEIGHT RM ROOM CONT HOLLOW METAL RO HM ROUGH OPENING CPT HIGH POINT SERV SERVICE HP HOUR(S) SGT STRUCTURAL GLAZED TILE

change in contract prices.

HEATING, VENTILATION,

INCANDESCENT

INSULATION

LOCATION

LOW POINT

MECHANICAL

MASONRY OPENING

NOT IN CONTRACT

MAXIMUM

MINIMUM

MILLWORK

NUMBER

NOMINAL

NOT TO SCALE

ON CENTER

**OVERHEAD** 

OPENING

OPPOSITE

METAL

JOINT

AND AIR CONDITIONING

HVAC

INCAND

INSUL

LOC

MAX

MIN

MO

MTL

NIC

MLWK

NOM

OPNG

OPF

NTS

MECH

SHT

SQ

SS

STL

STD

SURF

THK

UNO

VCT

VWC

W/O

WPT

W/

WD

TYP

UV

SPEC

SHEET (METAL)

SPECIFICATION(S)

STAINI ESS STEEL

SQUARE

SIMILAR

STANDARD

SURFACE

TYPICAL

WITH

WOOD

WITHOUT

TELEPHONE

THICKNESS

UNIT VENTILATOR

VARY / VARIES

VERIFY IN FIELD

WATERPROOF

WORKING POINT

VINYL WALL COVER

UNLESS NOTED OTHERWISE

VINYL COMPOSITION TILE

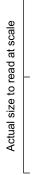
STEEL

AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
ANOD	ANODIZED
ASS'Y	ASSEMBLY
ACT	ACOUSTIC CEILING TILE
CJ	CONTROL JOINT
CLG	CEILING
CLR	CLEAR(ANCE)
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
CONTR	
CPT	CARPET
CFI	CERAMIC TILE
DET	
DEI	DETAIL
DIM	DIMENSION
DK	DARK
DN	DOWN
DR	DOOR
DO	DOOR OPENING
DWG	DRAWING
EA	EACH
EL	ELEVATION
ELEC	ELECTRIC(AL)
ELEV	ELEVATOR
EJ	EXPANSION JOINT
EQ	EQUAL
EWC	ELECTRIC WATER COOLER
EXIST	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
EXTR	EXTRUDED
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET

FIRE HYDRANT

FEC

FH



**STR PARTNERS, LLC** 350 West Ontario Street, Suite 200 CONSULTING ENGINEERS

STRUCTURAI

STEEL

ALUMINUM

SPRAY FOAM

INSULATION

**GLAZED BLOCK** 

PORCELAIN /

CERAMIC TILE

ACOUSTICAL

**CEILING TILE** 

**GYPSUM BOARD** 

FERRAZZO FLOOR

CIVIL ENGINEERING

**ERIKSSON ENGINEERING ASSOCIATES, LTD.** 135 S. Jefferson Street, Suite 135 Chicago, IL 60661 (312) 463-0551

#### 

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## SHEET INDEX

TITLE SHEET
CIVIL COVER SHEET
SITE DEMOLITION PLAN
PROPOSED SITE PLAN

T1.0

C0.0

C1.0

C2.0

## **PROJECT LOCATION**



#### SCOPE DOCUMENT

This sheet is one drawing within a complete set of documents and shall not be considered separately from the Drawings as a whole. The Drawings indicate general scope of project in terms of architectural design concept, building dimensions, major architectural elements, and types of structural, mechanical, and electrical systems. As Scope Documents, the Drawings do not necessarily indicate / describe all work required for full performance and completion of requirements of the Construction Documents. On the basis of the general scope indicated or described, the Contractor shall furnish all items required for proper execution and completion of the Work.

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PROJECT

D113A OLD QUARRY STORMWATER PAVING REPAIRS 16100 W 127th St, Lemont, IL 60439 Lemont, IL 60439

#### Lemont-Bromberek Combined School District 113A

COMMENTS

16100 W. 127th Street Lemont, IL 60439

CLIENT PROJECT NUMBER

STR PROJECT NUMBER

24023

DRAWING DATES

ISSUE DATE

- ISSUE FOR BID • 1 APR 3, 2024

DRAWING TITLE

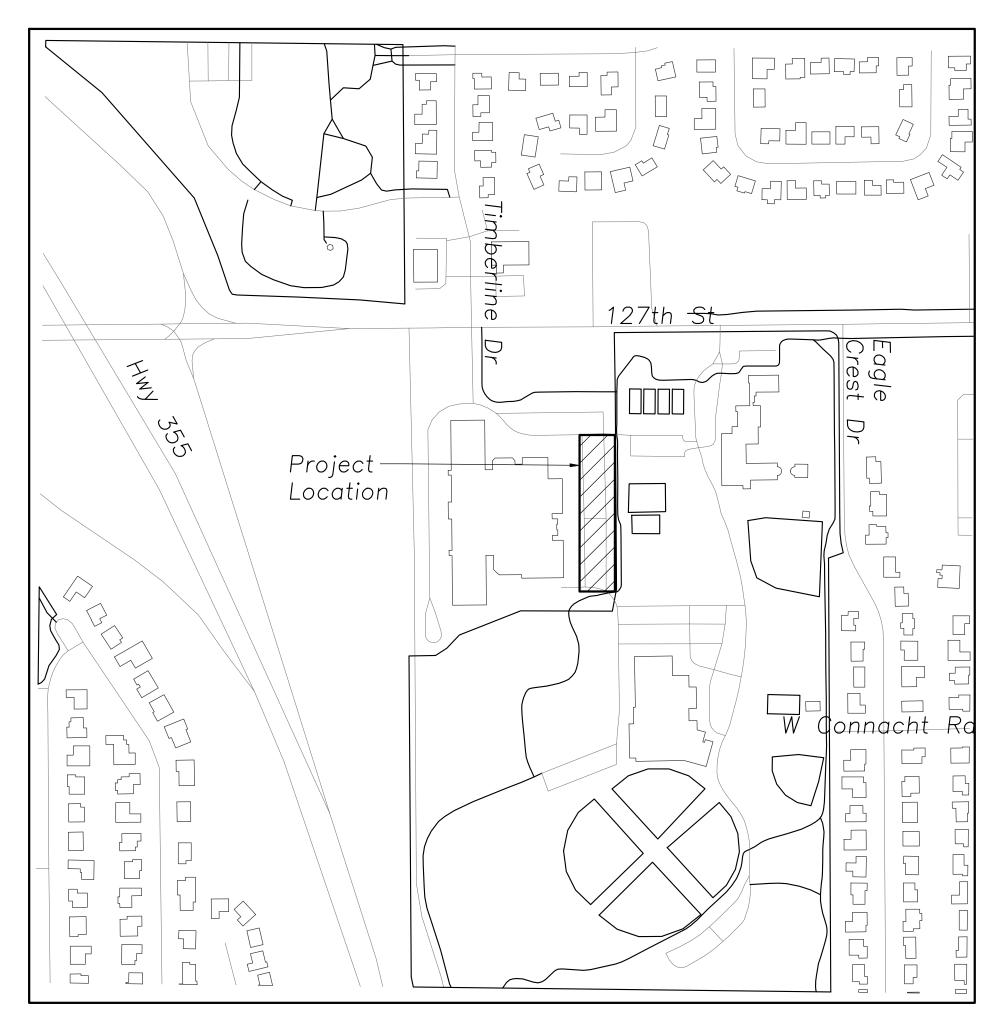
TITLE SHEET

SHEET NUMBER

T1.0

# D113A OLD QUARRY PAVING REPAIRS 16100 W 127TH ST LEMONT, IL 60439

ARCHITECT: STR Partners LLC 350 W Ontario St, Suite 200 Chicago, IL 60654 T: 312-464-4244 E: andrew@strpartners.com Attn: Andrew Phelps



J.U.L.I.E.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892–0123 CIVIL ENGINEER: Eriksson Engineering Assoc., Ltd. 135 S. Jefferson St., Suite 135 Chicago, IL 60661 T: 312-463-0551 E: rsinnott@eea-Itd.com Attn: Rick Sinnott, PE

OWNER: Lemont District 113A 1135 State St. Lemont, IL 60439 T: 630-257-2286, ext. 2803 E: pcreane@sd113A.org Attn: Pat Creane

SITE LOCATION MAP (N.T.S.)

CIVIL SHEET INDEX

C0.0 CIVIL COVER SHEET C1.0 SITE DEMOLITION PLAN C2.0 PROPOSED SITE PLAN



#### ARCHITECTS

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T: 312.464.1444 www.strpartners.com

 CIVIL ENGINEERING
ERIKSSON ENGINEERING ASSOCIATES, LTD. 135 S. Jefferson Street, Suite 135 Chicago, IL 60661 (312) 463-0551



EXPIRATION DATE: \_\_\_\_\_11/30/25\_\_\_

SCOPE DOCUMENT

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PROJECT

#### D113A OLD QUARRY PAVING REPAIRS

16100 W 127th St, Lemont, IL 60439 Lemont, IL 60439

#### Lemont-Bromberek Combined School District 113A

16100 W. 127th Street Lemont, IL 60439

CLIENT PROJECT NUMBER

STR PROJECT NUMBER

#### 24023

DRAWING DATES

ISSUE DATE COMMENTS

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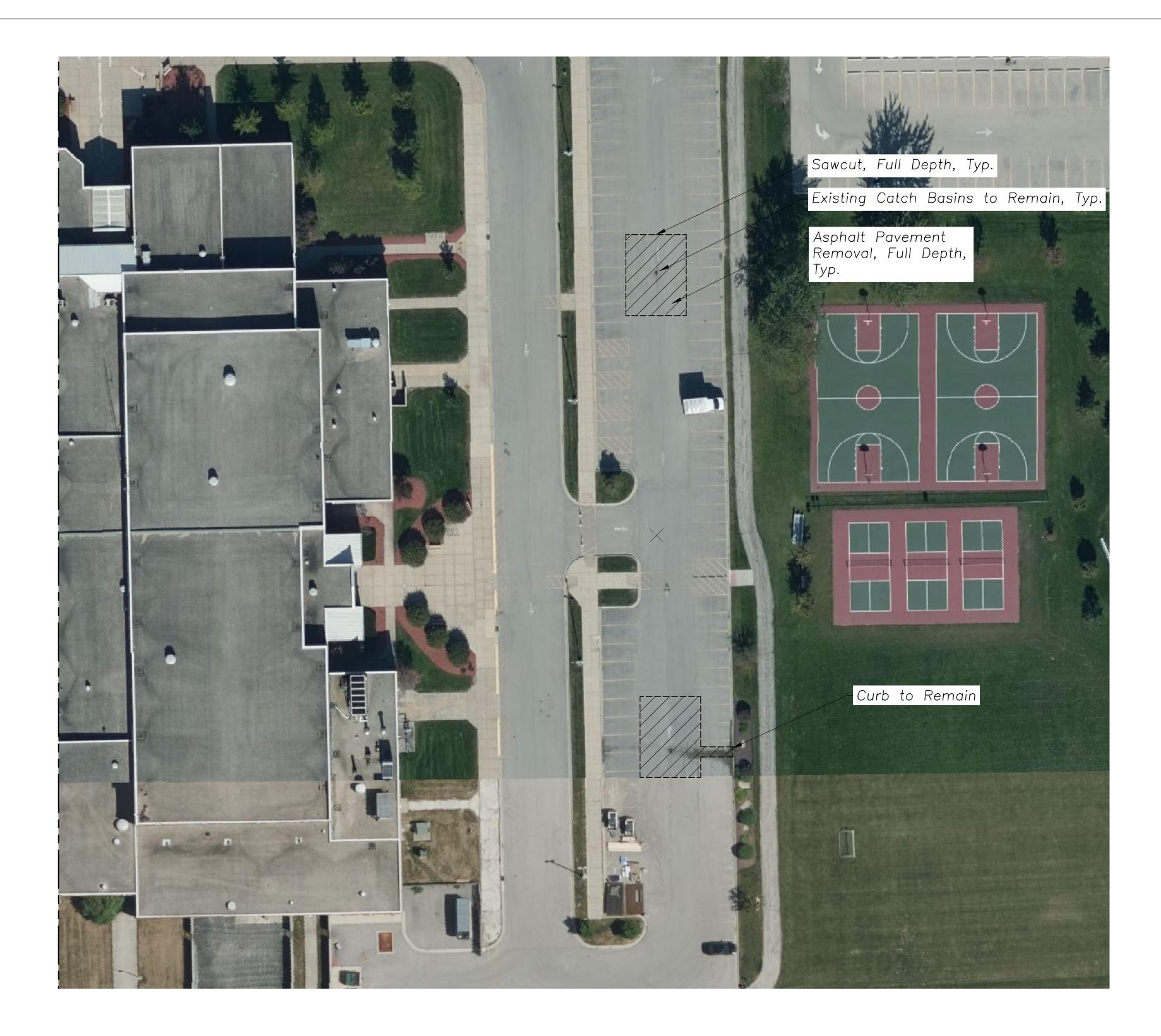
- 1 APR 3, 2024 ISSUE FOR BID

DRAWING TITLE

## **CIVIL COVER SHEET**

Sheet NUMBER

**C0.0** 

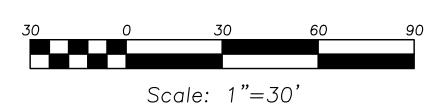




#### DEMOLITION LEGEND

Bituminous Pavement Removal (Full Depth)

— — — — — Pavement Sawcut (Full-Depth)



#### GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
- 2. Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- 3. Contractor Shall Provide Private Utility Locating Services for the Project Area.
- Notify The Owner, Engineer and The Village of Lemont A Minimum of 48 Hours In Advance of Performing Any Work.
- 5. All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- 6. These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re–Establish Horizontal Control. Horizontal Control Points Not Provided.
- 7. No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- 8. The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- 9. Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- 10. The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

#### DEMOLITION NOTES

- Keep All Village Streets Free and Clear of Construction Related Dirt/Dust/Debris.
- The Existing Building is to Remain Operational During Construction. Therefore, the Temporary Relocation of All Necessary Utilities Serving the Existing Building Shall Be Coordinated Prior to the Commencement of Construction Operations.
- 3. All Sawcutting Shall be Full Depth to Provide a Clean Edge to Match New Construction. Match Existing Elevations at Points of Connection for New and Existing Pavement, Curb, Sidewalks, etc. All Sawcut Locations Shown Are Approximate and May Be Field Adjusted to Accommodate Conditions, Joints, Material Type, etc. Remove Minimum Amount Necessary for Installation of Proposed Improvements.
- Provide and Maintain All Necessary Traffic Control and Safety Measures Required During Demolition and Construction Operations Within or Near the Public Roadway.





#### ARCHITECTS

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EXPIRATION DATE: \_\_\_\_\_11/30/25\_\_\_\_

SCOPE DOCUMENT

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#### PROJECT

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16100 W 127th St, Lemont, IL 60439 Lemont, IL 60439

#### Lemont-Bromberek Combined

School District 113A 16100 W. 127th Street Lemont, IL 60439

CLIENT PROJECT NUMBER

STR PROJECT NUMBER

#### DRAWING DATES

ISSUE DATE COMMENTS

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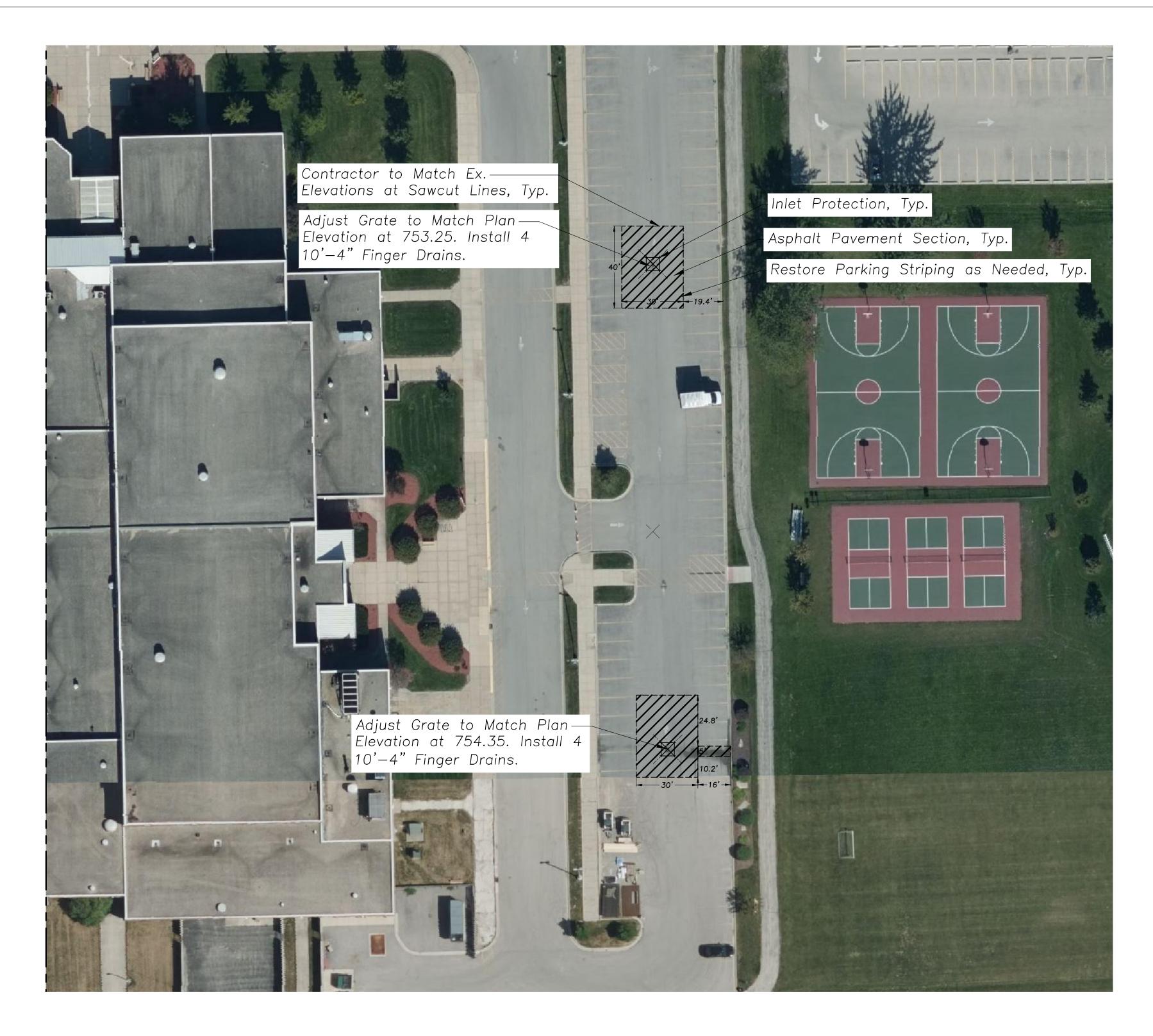
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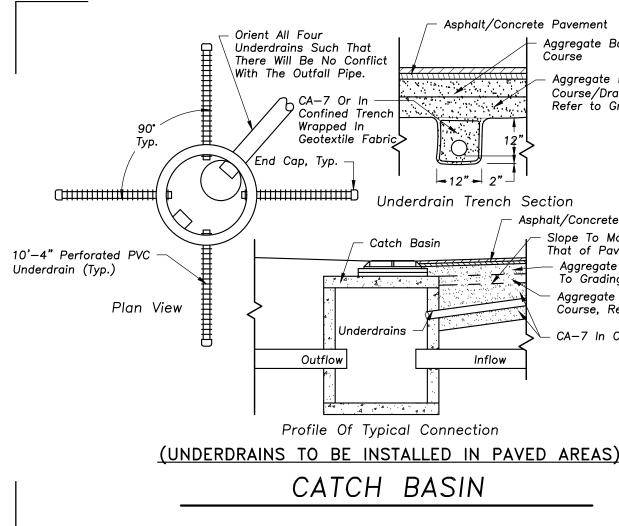
#### DRAWING TITLE

### SITE DEMOLITION PLAN

SHEET NUMBER

C1.0







#### PAVING & SURFACE LEGEND



Asphalt Pavement Section (Full-Depth) 1 1/2" Hot Mix Asphalt,Mix D, IL-9.5, N50 2 1/2" Hot Mix Asphalt, IL-19.0, N50 Prime Coat (0.25 gal/sq yd) 4" Aggregate Base Course, Type B, Crushed, CA-6 4" Drainage Course, CA-7 Non-Woven Geotextile Fabric, 5 oz/sy

— - - » - - - - » - — Finger Drains, 4"

— — — — — Pavement Sawcut (Full-Depth)

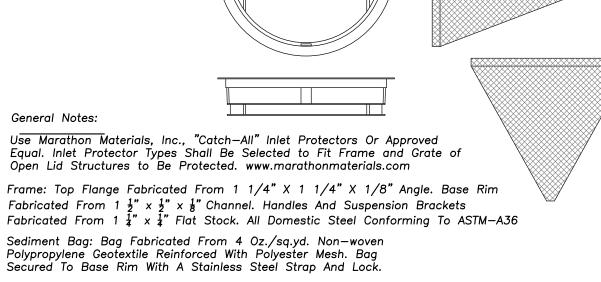
Aggregate Base Course Aggregate Base

Course/Drainage Course. Refer to Grading Plans

Asphalt/Concrete Pavement

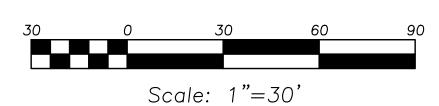
- Slope To Match That of Pavement Aggregate Base Course, Refer To Grading Plans

Aggregate Base Course/Drainage Course, Refer To Grading Plans CA-7 In Confined Trench Only



Install Baskets In All Existing Storm Inlets Prior To Construction And All New Storm Inlets Immediately After Installation. Contractor Shall Maintain Throughout Construction Activities.

INLET PROTECTORS - SEDIMENT BAG



#### GENERAL NOTES

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- 5. All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
- 6. These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re–Establish Horizontal Control. Horizontal Control Points Not Provided.
- 7. No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
- 8. The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
- 9. Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- 10. The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.
- Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Ponding of Stormwater on the Surface of Proposed Improvements.
- 2. All Landscaped Areas Disturbed By Construction Shall Be Respread With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Hydroseeded Unless Noted Otherwise On The Landscape Drawings.
- 3. Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 2.0% in Any Direction. Maximum Sidewalk Cross Slopes Shall be 2.0%. Maximum Longitudinal Sidewalk Slope Shall Be 4.9%. Contact Engineer if Conflicts Exist.
- Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.



#### ARCHITECTS

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 CIVIL ENGINEERING **ERIKSSON ENGINEERING ASSOCIATES, LTD.** 135 S. Jefferson Street, Suite 135 Chicago, IL 60661 (312) 463-0551





SCOPE DOCUMENT

This sheet is one drawing within a complete set of documents and shall not be considered separately from the Drawings as a whole. The Drawings indicate general scope of project in terms of architectural design concept, building dimensions, major architectural elements, and types of structural, mechanical, and electrical systems. As Scope Documents, the Drawings do not necessarily indicate / describe all work required for full performance and completion of requirements of the Construction Documents. On the basis of the general scope indicated or described, the Contractor shall furnish all items required for proper execution and completion of the Work.

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#### PROJECT

#### D113A OLD QUARRY PAVING REPAIRS

16100 W 127th St, Lemont, IL 60439 Lemont, IL 60439

#### Lemont-Bromberek Combined

School District 113A 16100 W. 127th Street Lemont, IL 60439

CLIENT PROJECT NUMBER

STR PROJECT NUMBER 24023

#### DRAWING DATES

ISSUE DATE COMMENTS

- 1 APR 3, 2024 ISSUE FOR BID

DRAWING TITLE

## **PROPOSED SITE** PLAN

SHEET NUMBER



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GRADING NOTES 1. The Grading and Construction of Proposed Improvements