



# D113A OLD QUARRY PAVING REPAIRS

## 16100 W 127TH ST

## LEMONT, IL 60439

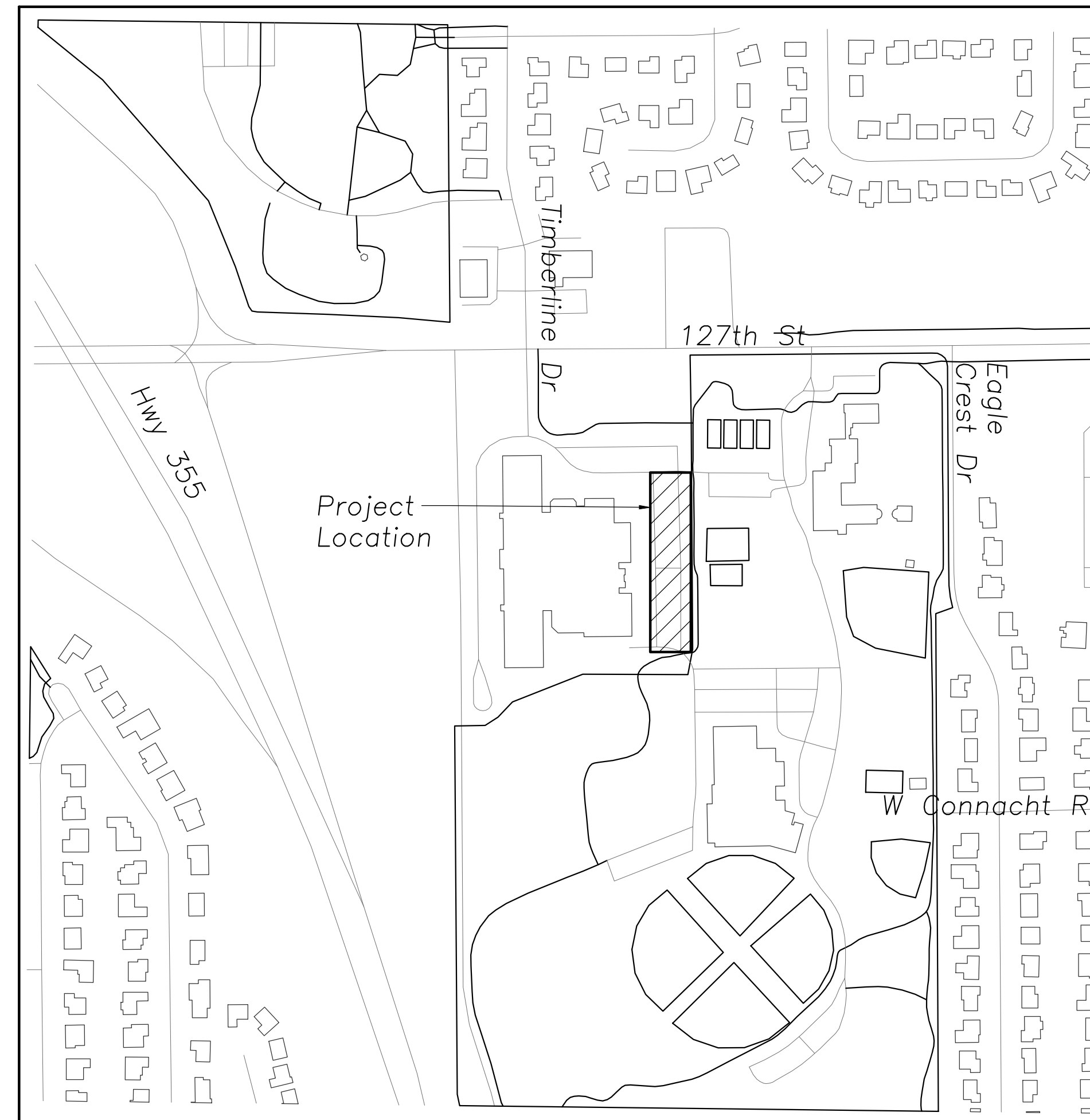
**ARCHITECT:**  
 STR Partners LLC  
 350 W Ontario St, Suite 200  
 Chicago, IL 60654  
 T: 312-464-4244  
 E: andrew@strpartners.com  
 Attn: Andrew Phelps

**CIVIL ENGINEER:**  
 Eriksson Engineering Assoc., Ltd.  
 135 S. Jefferson St., Suite 135  
 Chicago, IL 60661  
 T: 312-463-0551  
 E: rsinnott@eea-ltd.com  
 Attn: Rick Sinnott, PE

**OWNER:**  
 Lemont District 113A  
 1135 State St.  
 Lemont, IL 60439  
 T: 630-257-2286, ext. 2803  
 E: pcreane@sd113A.org  
 Attn: Pat Creane

**J.U.L.I.E.**

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123



**SITE LOCATION MAP**  
(N.T.S.)

**CIVIL SHEET INDEX**

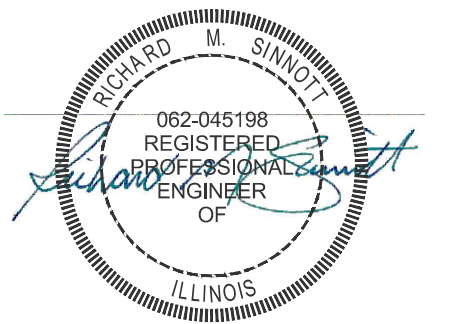
C0.0 CIVIL COVER SHEET  
 C1.0 SITE DEMOLITION PLAN  
 C2.0 PROPOSED SITE PLAN



ARCHITECTS  
**STR Partners, LLC**  
 350 West Ontario Street | Suite 200  
 Chicago, IL 60654

T: 312.464.1444  
 www.strpartners.com

CIVIL ENGINEERING  
**ERIKSSON ENGINEERING ASSOCIATES, LTD.**  
 135 S. Jefferson Street, Suite 135  
 Chicago, IL 60661  
 (312) 463-0551



EXPIRATION DATE: 11/30/25

**SCOPE DOCUMENT**

This sheet is one drawing within a complete set of documents and shall not be considered separately from the Drawings as a whole. The Drawings indicate general scope of project in terms of architectural design concept, building dimensions, major architectural elements, and types of structural, mechanical, and electrical systems. As Scope Documents, the Drawings do not necessarily indicate / describe all work required for full performance and completion of requirements of the Construction Documents. On the basis of the general scope indicated or described, the Contractor shall furnish all items required for proper execution and completion of the Work.

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**PROJECT**

**D113A OLD QUARRY PAVING REPAIRS**  
 16100 W 127th St, Lemont, IL 60439  
 Lemont, IL 60439

**Lemont-Bromberek Combined School District 113A**  
 16100 W. 127th Street  
 Lemont, IL 60439

**CLIENT PROJECT NUMBER**

STR PROJECT NUMBER  
**24023**

**DRAWING DATES**

ISSUE DATE COMMENTS

ISSUE DATE	COMMENTS
1	APR 3, 2024 ISSUE FOR BID

**DRAWING TITLE**

**CIVIL COVER SHEET**

**SHEET NUMBER**

**C0.0**





EXPIRATION DATE: 11/30/25

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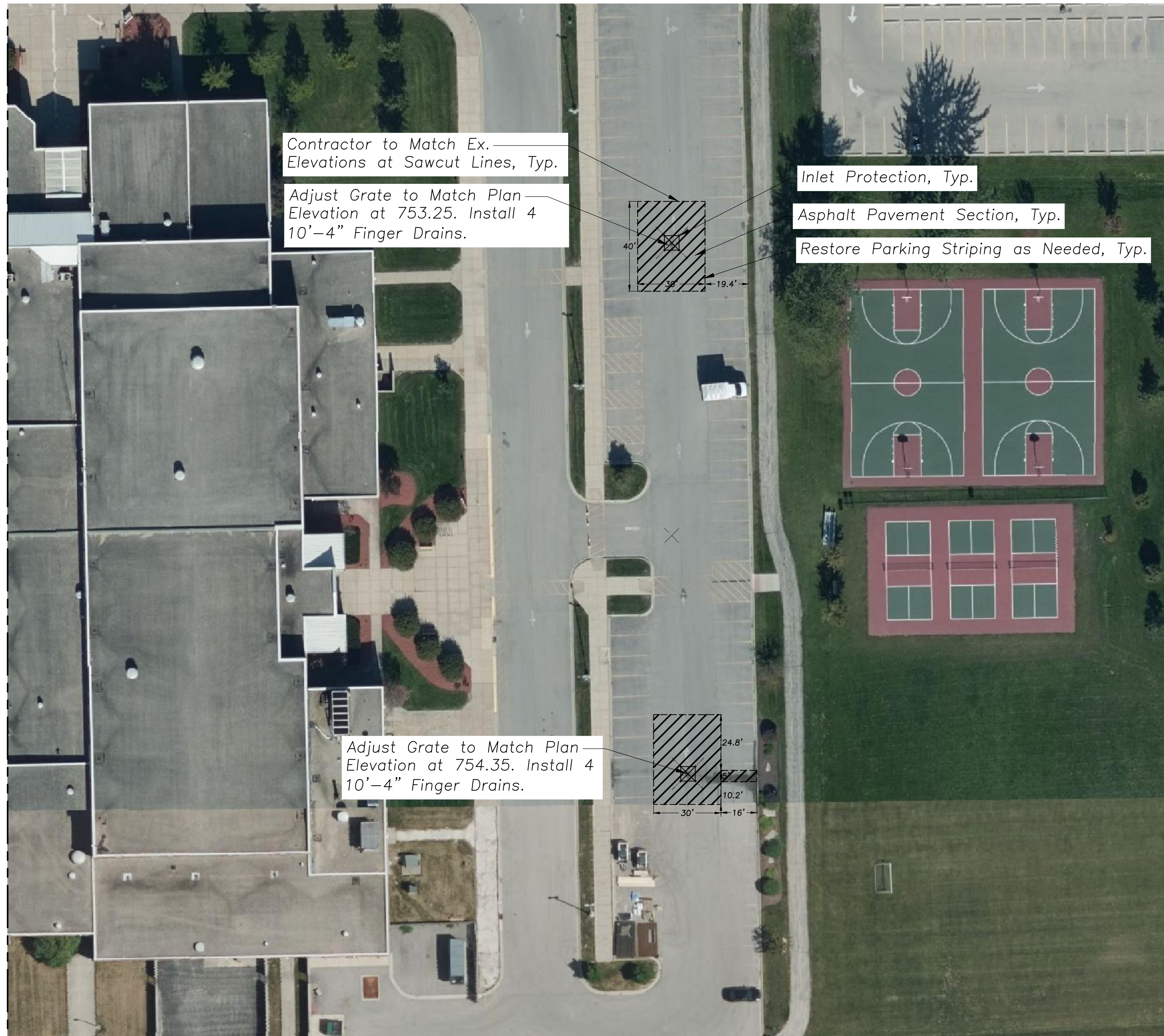
ISSUE DATE	COMMENTS
1	APR 3, 2024 ISSUE FOR BID

DRAWING TITLE

**PROPOSED SITE PLAN**

SHEET NUMBER

**C2.0**



30 0 30 60 90



Scale: 1"=30'

**PAVING & SURFACE LEGEND**

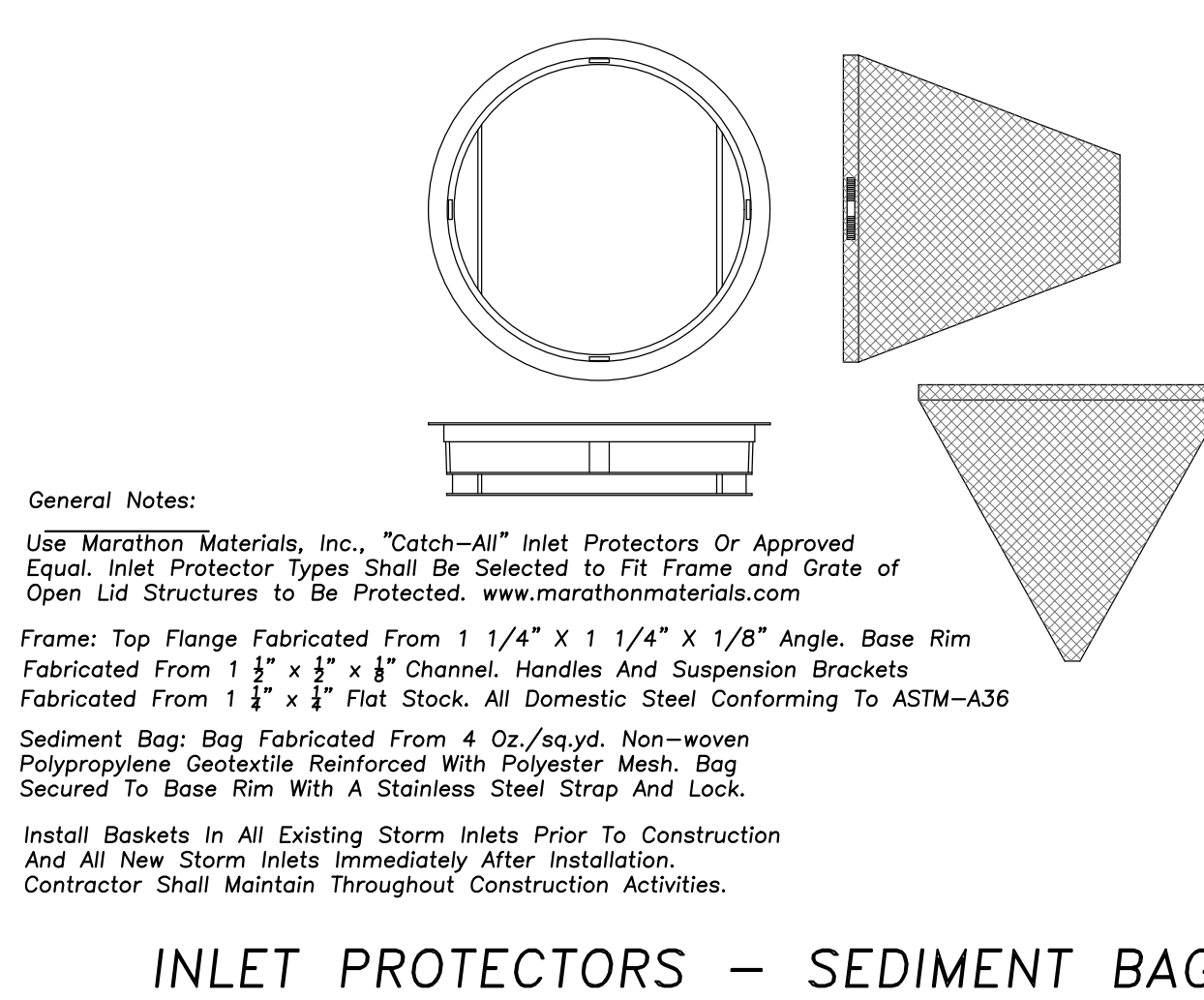
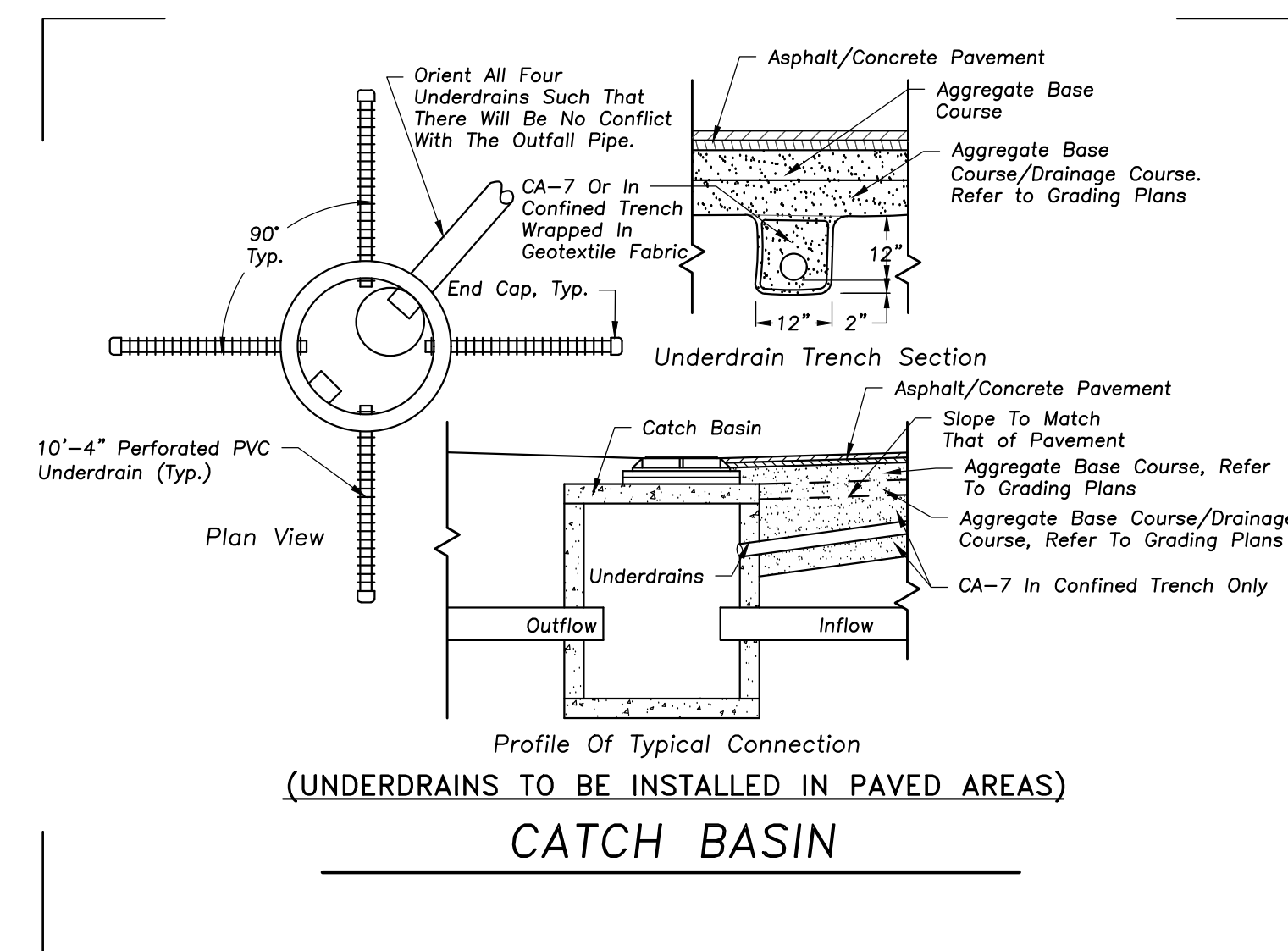
- Asphalt Pavement Section (Full-Depth)
  - 1 1/2" Hot Mix Asphalt, Mix D, IL-9.5, NSO
  - 2 1/2" Hot Mix Asphalt, IL-19.0, NSO
  - Prime Coat (0.25 gal/sq yd)
  - 4" Aggregate Base Course, Type B, Crushed, CA-6
  - 4" Drainage Course, CA-7
  - Non-Woven Geotextile Fabric, 5 oz/sy
- Pavement Sawcut (Full-Depth)
- Finger Drains, 4"

**GENERAL NOTES**

1. The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
2. Notify The Engineer Without Delay of Any Discrepancies Between The Drawings and Existing Field Conditions.
3. Contractor Shall Provide Private Utility Locating Services for the Project Area.
4. Notify The Owner, Engineer and The Village of Lemont A Minimum of 48 Hours in Advance of Performing Any Work.
5. All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored To Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is Incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
6. These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) to Stake All Site Improvements Accordingly. Contractor Shall Re-Establish Horizontal Control. Horizontal Control Points Not Provided.
7. No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
8. The Engineer is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor, or Contractor. Prior To The Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
9. Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, Include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
10. The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

**GRADING NOTES**

1. The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Ponding of Stormwater on the Surface of Proposed Improvements.
2. All Landscaped Areas Disturbed By Construction Shall Be Respread With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and Hydroseeded Unless Noted Otherwise On The Landscape Drawings.
3. Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 2.0% In Any Direction. Maximum Sidewalk Cross Slopes Shall Be 2.0%. Maximum Longitudinal Sidewalk Slope Shall Be 4.9%. Contact Engineer if Conflicts Exist.
4. Rebuild Existing Structures and Adjust Rim Elevations to Match Proposed Ground Elevations.



NOT FOR CONSTRUCTION